

862 AEROVISTA PLACE

SAN LUIS OBISPO, CA

VICINITY MAP



SYMBOLS

- ① DIMENSIONAL GRID LINE
- ⊙ DOOR MARK
REFER TO DOOR SCHEDULE
- ⊙ WINDOW MARK
REFER TO WINDOW SCHEDULE
- ⊙ WINDOW ABOVE
REFER TO WINDOW SCHEDULE
- REFERENCE NOTE
- ⊙ DETAIL NUMBER
SHEET SHOWN ON
- ⊙ SECTION
SHEET SHOWN ON

DIRECTORY

- OWNER**
QUAGLIO PROPERTIES
818 FERO LANE
SAN LUIS OBISPO, CA 93401
(805) 944-0980
- ARCHITECT**
PULTS & ASSOCIATES, LLP
3512 SACRAMENTO DRIVE, SUITE 140
SAN LUIS OBISPO, CA 93401
(805) 944-1504
- SOILS ENGINEER**
EARTH SYSTEMS PACIFIC
4815 OLD SANTA FE ROAD
SAN LUIS OBISPO, CA 93401
(805) 944-0278
- CIVIL ENGINEER - SURVEY**
KALLACE GROUP
612 CLAYTON COURT
SAN LUIS OBISPO, CA 93401
(805) 944-4011
- LANDSCAPE ARCHITECT**
STEVEN P. CAMINITI
P.O. BOX 1241
SAN LUIS OBISPO, CA 93406
(805) 944-8424
- STRUCTURAL ENGINEER**
ASHLEY EVANCE ENGINEERING, INC.
1413 MONTEREY STREET
SAN LUIS OBISPO, CA 93401
(805) 949-0010
- MECHANICAL ENGINEER**
BRUNHELM WITTECK & ASSOCIATES
100 CROSBY STREET, SUITE 204
SAN LUIS OBISPO, CA 93401
(805) 944-4284
- ELECTRICAL ENGINEER**
TOMHA ELECTRIC, INC.
2962 DIVISadero STREET, SUITE C
SAN LUIS OBISPO, CA 93401
(805) 949-9850

GENERAL NOTES

- The General Contractor shall be responsible for verifying all existing conditions before commencing with any work.
- All work shall comply with all current codes, ordinances & regulations of applicable administrative authorities: 2018 CBC, CMC, CPC, CEC, CALGreen, 2018 CBC, City of San Luis Obispo, including the 2018 Public Works Department Engineering Standards, and the Americans with Disabilities Act (ADA).
- The Americans with Disabilities Act (ADA) is subject to various and possibly contradictory interpretations. These plans and any accompanying specifications represent designer's opinion regarding an interpretation of the ADA as it applies to the subject project. Any variance from these documents may create non-compliance to the Act.
- The 2018 Building Energy Efficiency Standards for residential and non-residential buildings have been reviewed, and the building described on these pages is in substantial conformance.
- Special inspectors shall be a qualified person who shall demonstrate competence to the satisfaction of the Building Official. Names and qualifications shall be submitted to Building Department for approval.
- No hazardous materials will be stored and/or used within the building which exceed the quantities listed in CBC, Title 8, 8011.1 (1) & 8011.1 (2).
- Storm water management shall be implemented during construction and adhere to measure per CALGreen 9.10e.2
- Contact the Public Works Inspection hotline 781-7894 with at least 48 hour notice for any required encroachment permit or final inspection.
- All work located within the public right-of-way or within the jurisdiction of the city utilities and Public Works Department, shall comply with the most current edition of the Engineering Standards and Standard Specifications, dated January 30, 16.
- A separate encroachment permit is required for any work in the public right-of-way or within city easements for connections to public utilities. PW's requiring an encroachment permit includes but is not limited to: directional, utility, utility, water, sewer, and fire service laterals, curb, gutter, and sidewalk, driveway approaches, sidewalk, underground, storm drain, stormwater, address line painting or printing, curb ramps, street painting, and pedestrian protection or construction existing in the right-of-way.
- Contact the Public Works Inspection hotline at 781-7894 with at least a 48 hour notice for any required encroachment permit inspection or final inspection.
- Any actions of damaged or displaced curb, gutter, sidewalk or driveway approach shall be repaired or replaced to the satisfaction of the Public Works Director.
- A traffic and pedestrian control plan shall be submitted to the Public Works Department for review and approval prior to encroachment permit issuance.
- The adjoining street and sidewalk shall be cleaned by sweeping to remove dirt, silt, mud, and construction debris at the end of each workday.
- All grading soil preparation, and site work shall conform to the City of San Luis Obispo standards, applicable codes, soil report by Earth Systems Pacific, and hydraulic report by Wallace Group.
- Special inspection is required substantiating compliance with CALGreen Building Code and documentation used to demonstrate compliance.
- Prior to Final Inspection, provide a final copy of Building Operation and Maintenance Manual to Building Inspector.

PROJECT SUMMARY

LEGAL: PARCEL 2 OF PARCEL MAP NO. 00AL00-136
BOOK 55 PAGE 88
COUNTY OF SAN LUIS OBISPO, CA

ZONING: BP - BUSINESS PARK

OVERLAY: SP - SPECIFIC PLAN

APN: 053-412-015

SITE: 2.41 ACRES / 104,400 SF

BUILDING:	FIRST FLOOR	18,939 SF
	SECOND FLOOR	17,685 SF
	TOTAL	36,624 SF
	WESTERLY ROOF COVERING:	123 SF
	SOUTHERLY ROOF COVERING:	1,934 SF
	EASTERLY ROOF COVERING:	123 SF
	TOTAL	1,600 SF
	SECOND FLOOR DECK:	844 SF

COVERAGE:	BUILDING:	14,423 SF	16.0
	PAVING:	52,261 SF	49.7
	PAVING:	5,028 SF	2.6
	LANDSCAPING:	21,154 SF	20.3
	TOTAL	100.00	

PARKING:	OFFICES	35,408 SF @ 1/300SF	114.7
	TOTAL REQUIRED		120
	TOTAL PROVIDED		110
	TYPE	REQ'D	PROV'D
	STANDARD	120	148
	ACCESSIBLE	6	12
	CLEAN AIR/VAN POOL/EV	16	16
	BY READY	10	11
	MOTORCYCLE:	REQ'D	PROV'D
	110 / 20+	1	4
	BICYCLE:		
	35,408 SF/1500	24	24
	75% X 24+	18	SHORT TERM
	25% X 24+	6	LONG TERM

OVERALL PARKING RATIO: 1.87 / 211 SF

OCCUP. EXPENSE:

FIRST FLOOR	18,939 SF / 100 = 184 OCCUPANTS	(2 EXITS REQUIRED / 3 EXITS PROVIDED)
SECOND FLOOR	17,685 SF / 100 = 177 OCCUPANTS	(2 EXITS REQUIRED / 3 EXITS PROVIDED)
SECOND FLOOR DECK	844 SF / 18 = 56 OCCUPANTS	(2 EXITS REQUIRED / 2 EXITS PROVIDED)

BUILDING CONSTRUCTION TYPE: V-B SPRINKLERED

BUILDING OCCUPANCY: B

ACTUAL BUILDING AREA:	
FIRST FLOOR COVERED ROOF AREA:	14,423 SF
SECOND FLOOR:	17,685 SF
TOTAL BUILDING AREA:	32,108 SF

ALLOWABLE BUILDING AREA: 27,000 SF

ALLOWABLE BUILDING HEIGHT:

ALLOWABLE HEIGHT FOR TYPE V-B:	60 FT
TOTAL ALLOWED BUILDING HEIGHT:	60 FT
ACTUAL BUILDING HEIGHT:	30'-0"

ALLOWABLE STORES B OCCUP. TYPE V-B: 3 STORES

ACTUAL BUILDING STORES: 2 STORES

FINISH FUTURE REQUIREMENTS:

SPACE	AREA (SQ FT)	OCC	OCC FACTOR	OCC LOAD
1ST FLR LEASE AREA	15,696	B	200	14
2ND FLR LEASE AREA	16,412	B	200	24
TOTAL				163

FIRST FLOOR AREA - MALE

TOILETS	URINALS	LAV
REQ'D	PROV'D	REQ'D
1	2	1

FIRST FLOOR AREA - FEMALE

TOILETS	URINALS	LAV
REQ'D	PROV'D	REQ'D
3	3	1

SECOND FLOOR AREA - MALE

TOILETS	URINALS	LAV
REQ'D	PROV'D	REQ'D
1	2	1

SECOND FLOOR AREA - FEMALE

TOILETS	URINALS	LAV
REQ'D	PROV'D	REQ'D
3	3	1

DRINK FOUNTAIN: ONE REQUIRED/TWO PROVIDED
HOP SINK: ONE REQUIRED / ONE PROVIDED

SHEET INDEX

- T-1.1 TITLE SHEET
 - T-1.2 BLDG PHOTOS
 - T-1.3 GREEN BUILDING NOTES
 - CIVIL
 - AC-1.1 SITE PLAN
 - C-1 GRADING PLAN
 - C-2 UTILITY PLAN
 - LANDSCAPE
 - L-1 PLANTING PLAN
 - ARCHITECTURAL
 - A-1.1 FIRST FLOOR PLAN
 - A-1.2 SECOND FLOOR PLAN
 - A-2.1 BUILDING SECTIONS
 - A-4.1 EXTERIOR ELEVATIONS
 - E-1 PHOTOGRAPHIC PLAN
 - E-2 SITE LIGHT FIXTURE SCHEDULE
- TOTAL: 19 SHEETS



Architecture, Planning & Graphics
3512 Sacramento Dr., Suite 140
San Luis Obispo, California 93401
805/944-1504 voice

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Project:

862 AEROVISTA PLACE

SAN LUIS OBISPO CA 93401

Client:

QUAGLIO PROPERTIES

816 FERO LANE
SAN LUIS OBISPO CA 93401
(805) 543-0560

Consultant:

Sheet Contents:

TITLE SHEET



Date: 25 JUN 14

Revised:

Job No: 1923

Sheet:

T-1.1



862 AEROVISTA PLACE

PULTS
Pults & Associates, LLP

Architecture, Planning & Graphics
3532 Sacramento Dr., Suite 210
San Luis Obispo, California 93401
805/543-5660

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PROPERTIES**

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SAN LUIS OBISPO
CA 93401
(805) 543-0560

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Sheet Contents:

BUILDING PHOTOS

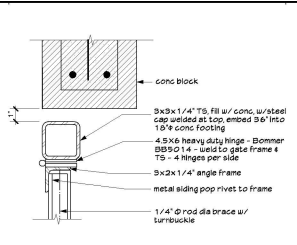


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Revised:

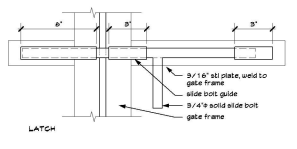
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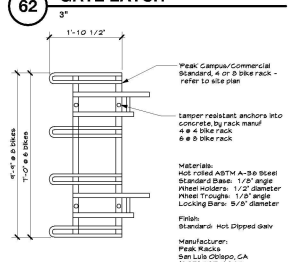
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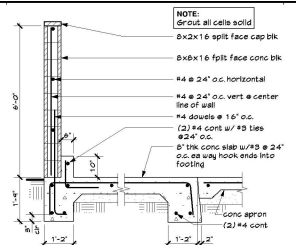
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3"



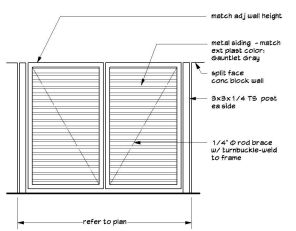
62 GATE LATCH
3"



63 BIKE RACKS
3/4"

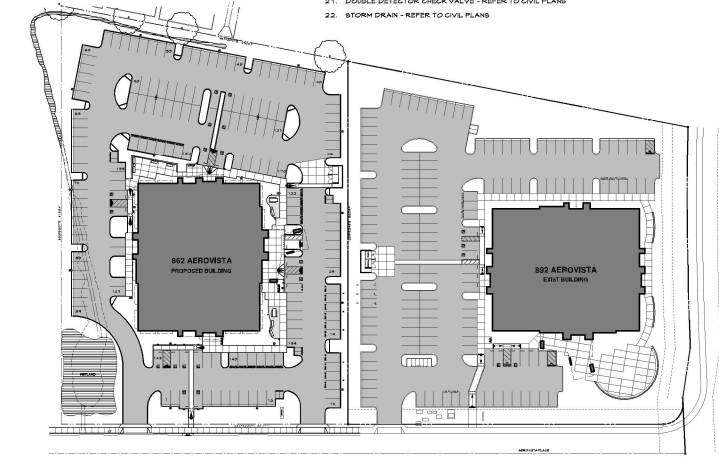


51 TRASH ENCLOSURE
12"

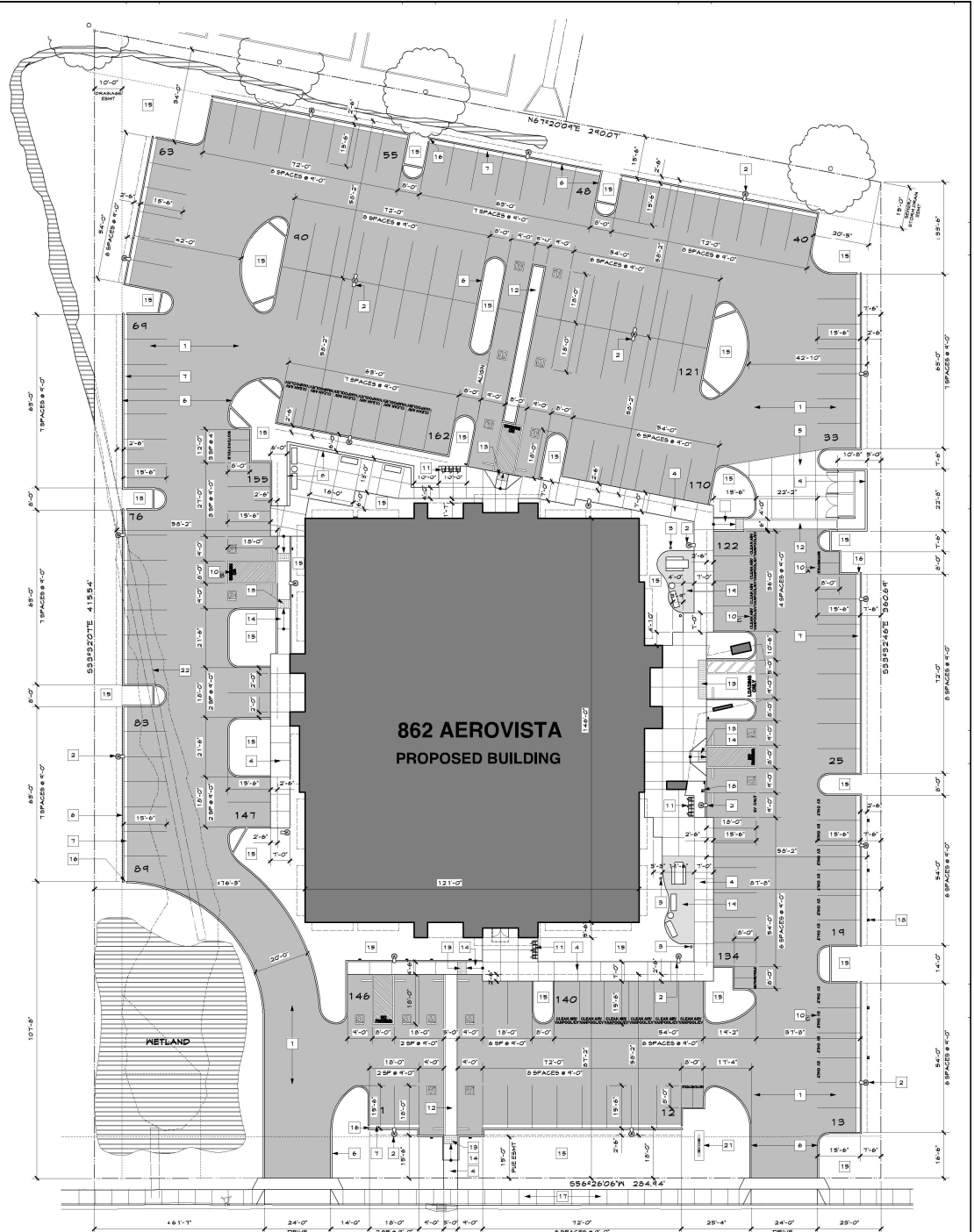


52 TRASH GATE
NO SCALE

- SITE PLAN REFERENCE NOTES**
- PAVED DRIVE & PARKING AREAS - BROWN SHADING
 - PARKING LOT POLE LIGHT FIXTURE - REFER TO SHTS E-1 & E-2
 - BOLLARD LIGHT FIXTURE - REFER TO SHTS E-1 & E-2
 - CONCRETE WALKS
 - CONCRETE SLAB AT DRIVE AREAS, 4" CONC. WITH # 4 AT 18" O.C. SA MAT OVER 1" GULLBLEE IV EXP. JOINTS AS SHOWN
 - CONCRETS - 8" HIGH TYP AT ALL PARKING AREAS
 - CONCRETE CURB/GUTTER
 - CONCRETE BLOCK PATIO HALL IV EXTERIOR PLASTER
 - SPLIT FACE CONG. BLOCK TRASH ENCLOSURE
 - TRAFFIC PAINT
A. "NO CYCLES" - 3" HIGH LETTERS
B. "NO PARKING" - 12" HIGH LETTERS & STRIPES @ 36" O.C. MAX
C. DESIGNATED PARKING PER PLAN
 - BIKE RACK - 4 BIKES - TYP @ 3 LOCATIONS
 - PRECAST CONC. PAVERS
 - TRUNCATED DOWNS
 - CONG. CURB RAMP 1/12 MAX SLOPE - REFER TO CIVIL PLANS
 - PLANTING AREA - REFER TO PLANTING PLAN
 - CURB OPENING, REFER TO CIVIL PLANS
 - EXISTING SIDEWALK, CURB & GUTTER
 - VEHICLE CHARGING STATION
 - COMPACTED DS. AREA IV PICNIC TABLE & BENCH REFER TO LANDSCAPE PLAN
 - BENCH - REFER TO LANDSCAPE PLAN
 - DOUBLE DETECTOR CHECK VALVE - REFER TO CIVIL PLANS
 - STORM DRAIN - REFER TO CIVIL PLANS



KEY SITE PLAN
1" = 50'-0"



SITE PLAN
1/16" = 1'-0"



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SAN LUIS OBISPO
CA 93401

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815 FERO LINE
SAN LUIS OBISPO
CA 93401
(805) 543-0550

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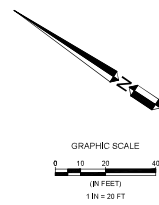
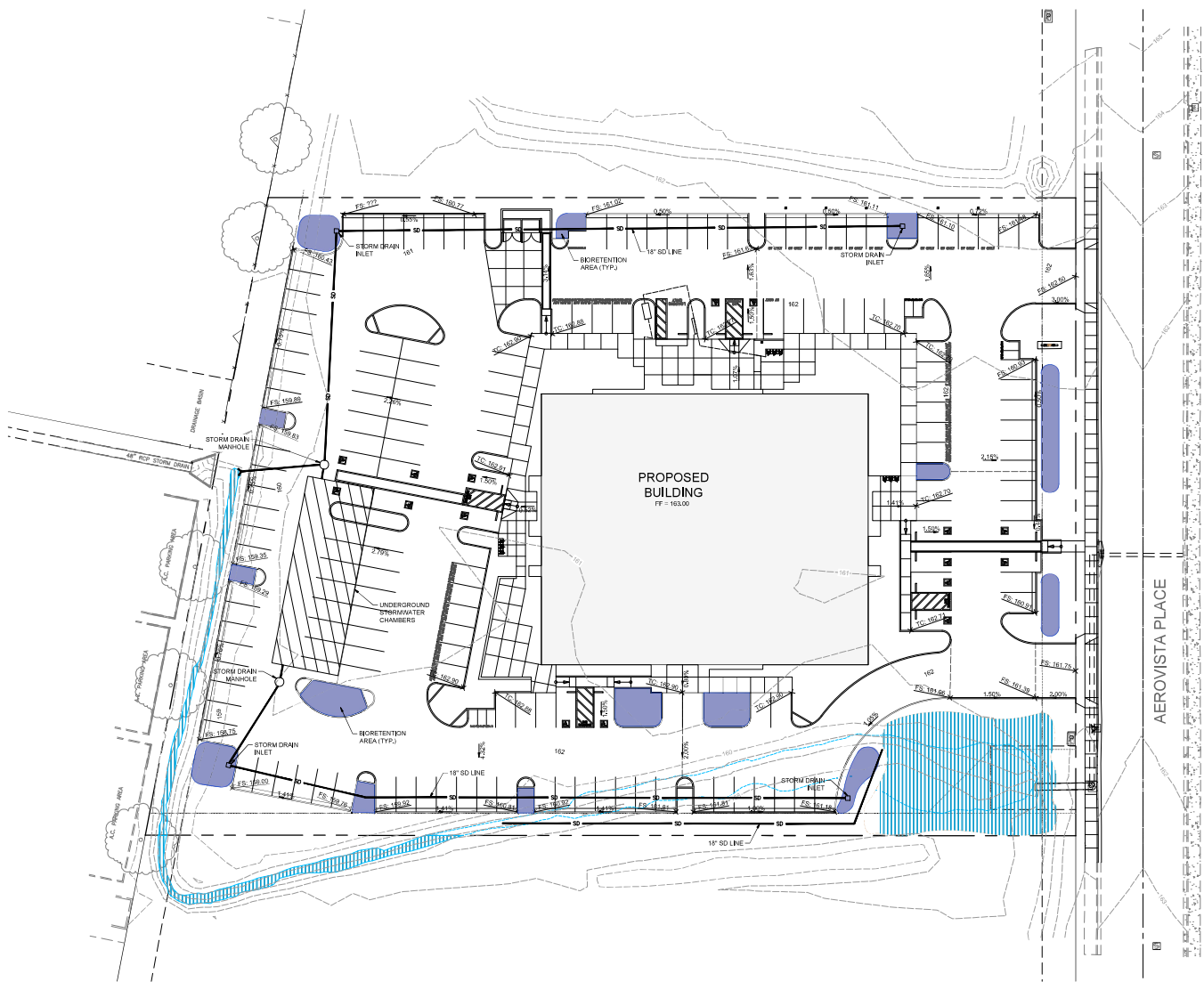
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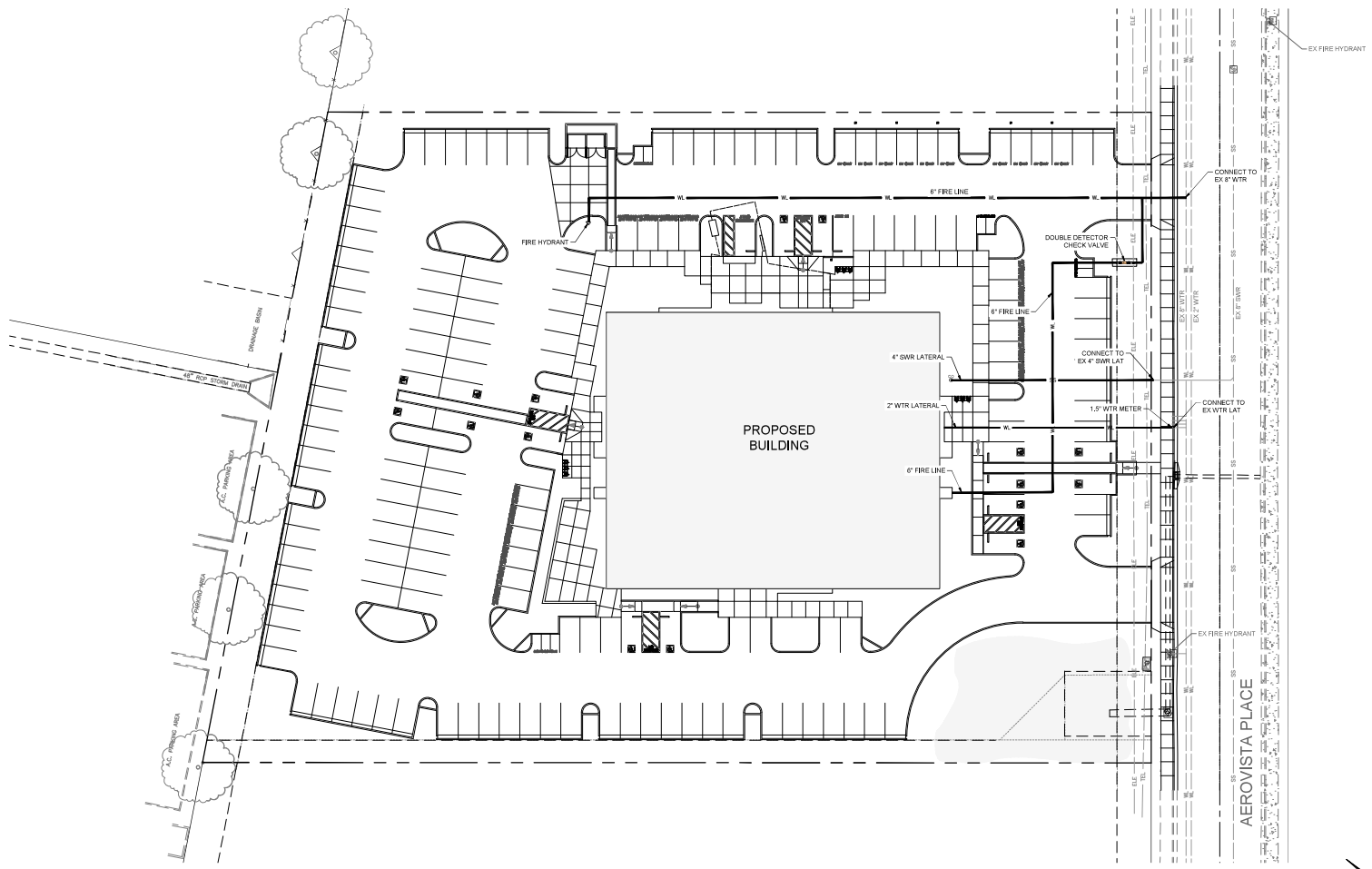
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Job No: 1922

Sheet:

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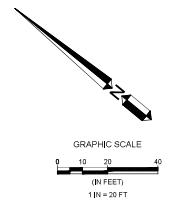




LEGEND

EXISTING	PROPOSED	DESCRIPTION
		SEWER MANHOLE
		SEWER CLEANOUT
		SERVICE LATERAL (W-WATER, G-GAS, U-UTILITIES)
		SERVICE METER (W-WATER)
		DOUBLE SERVICE METER (W-WATER)
		FIRE HYDRANT
		STORM DRAIN MANHOLE
		STORM DRAIN CATCH BASIN
		GATE VALVE

EXISTING	PROPOSED	DESCRIPTION
		WATER LINE
		GRAVITY SEWER LINE
		STORM DRAIN
		UNDERGROUND GAS LINE
		UNDERGROUND UTILITY LINE LOCATION
		UNDERGROUND ELECTRICAL LINE
		UNDERGROUND CABLE TELEVISION LINE
		UNDERGROUND TELEPHONE LINE
		RIGHT OF WAY
		EASEMENT
		CENTERLINE



Trees

Symbols	Botanical Name	Common Name	Quantity/Size
	<i>Platanus acerifolia</i>	London Plane Tree	5-15 gal.
	<i>Schinus molle</i>	Calif. Pepper Tree	1-15 gal.
	<i>Quercus agrifolia</i>	Coast Live Oak	8-15 gal.
	<i>Pistacia chinensis</i>	Chinese Pistache	22-19 gal.
	<i>Tristania conferta</i>	Brisbane Box	25-15 gal.
	<i>Lagerstroemia indica 'Tonto'</i>	Red Grape Myrtle (Hybrid)	22-15 gal.
	<i>Olea europaea 'Fruitless/multi'</i>	Fruitless Olive multi-trunk	7-15 gal.

Note: All trees shall be 'standards' unless noted otherwise

Shrubs

Symbol	Botanical Name	Common Name	Quan./Size
	<i>Myrica californica</i>	Pacific Wax Myrtle	47-1 gal.
	<i>Rhampholepis indica 'Clara'</i>	India Hawthorne	40-1 gal.
	<i>Phormium tenax 'Guardaman'</i>	New Zealand Flax	33-5 gal.
	<i>Rhampholepis indica 'Ballerina'</i>	N.C.N.	66-1 gal.
	<i>Asparagus d. 'Myers'</i>	Myers Asparagus Fern	10-1 gal.
	<i>Heteromeles arbutifolia</i>	Toyon	51-1 gal.
	<i>Nandina domestica</i>	Heavenly Bamboo	10-1 gal.

Ground Covers

Symbol	Botanical Name	Common Name	Quan./Size
	<i>Cotoneaster dammeri 'Loufast'</i>	Cotoneaster	1 gal. @ 6'o.c.
	<i>Vinca minor</i>	Dwarf Periwinkle	4" Pots @ 18'o.c.*
	<i>Rosaea 'Meidland (white)'</i>	White Meidland roses	2 gal. @ 4'o.c.
	<i>Trachelospermum asiaticum</i>	Asian Jasmine	4" Pots @ 18'o.c.*
	<i>Agapanthus africanus 'Peter P.'</i>	Dwarf Blue lily-of-the Nile	1 gal. @ 2'o.c.
	<i>Erigeron karvinkianus</i>	S.B. Daisy	215 - 4" Pots @ 24'o.c.*

* Note: It will be necessary for the landscape contractor to contract grow the plant materials specified in 4" pots.

Bioretention Planting Legend

	<i>Muhlenbergia rigens 'Deer Grass'</i>	48-1 gal.
	Calif. Grey Rush	4" pots @ 30'o.c.*

Landscape Maintenance Guidelines:

- Work done every month:
- Visual inspections including:
 - All plant material
 - All tree material
 - Lock for irrigation leaks with valves on
 - Remediate all leaks
 - Adjust irrigation controller to respond to current weather conditions
- Work done every 6 months:
- All of the above plus:
 - Prune plants as necessary
 - Redistribute bark/mulch to cover drip tubing
 - Check valve boxes and hose valve boxes for leaks
 - Inspect for other plant material
- Work done every 12 months:
- All of the above plus:
 - Import and spread additional bark/mulch to refresh 2" cover in all landscape areas
 - Inspect the entire project with the owner

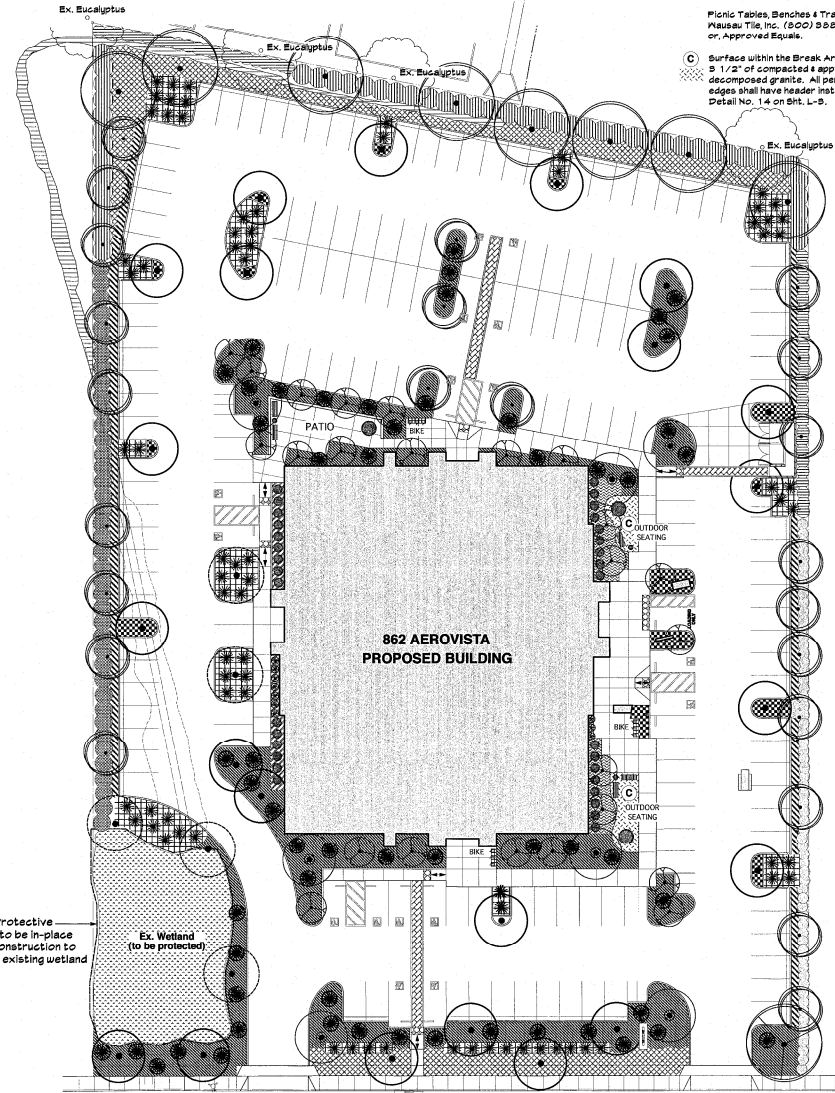
Note: Bidders shall confirm all plant counts prior to submitting their bids.

6' High Protective Fencing to be in-place during construction to protect existing wetland

PLANTING PLAN
1" = 20' - 0"

Break Areas Legend

- (2) 5' Dia. Round Picnic Tables No. Mausau Tile, Inc. Model #TFB 12B Color: Buff top w/sand legs.
 - ▨ (5) 70" Long Concrete Bench. Mausau Tile, Inc. Model #TFB010 Color: Buff
 - (3) Trash Receptacles Mausau Tile, Inc. Model #TF 11B 1 Color: Body buff and lid putu.
- Picnic Tables, Benches & Trash Rec. by Mausau Tile, Inc. (800) 558-8129 or Approved Equals.
- Surface within the Break Areas to be 3 1/2" of compacted & approved decomposed granite. All perimeter edges shall have header installed per Detail No. 1-4 on Sht. L-5.



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805.544.5504
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SAN LUIS OBISPO CA 93401

Client:

QUAGLINO PROPERTIES

815 FIERO LANE
SAN LUIS OBISPO
CA 93401
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Sheet Contents:

PLANTING PLAN



Date: 28 JUNE 19

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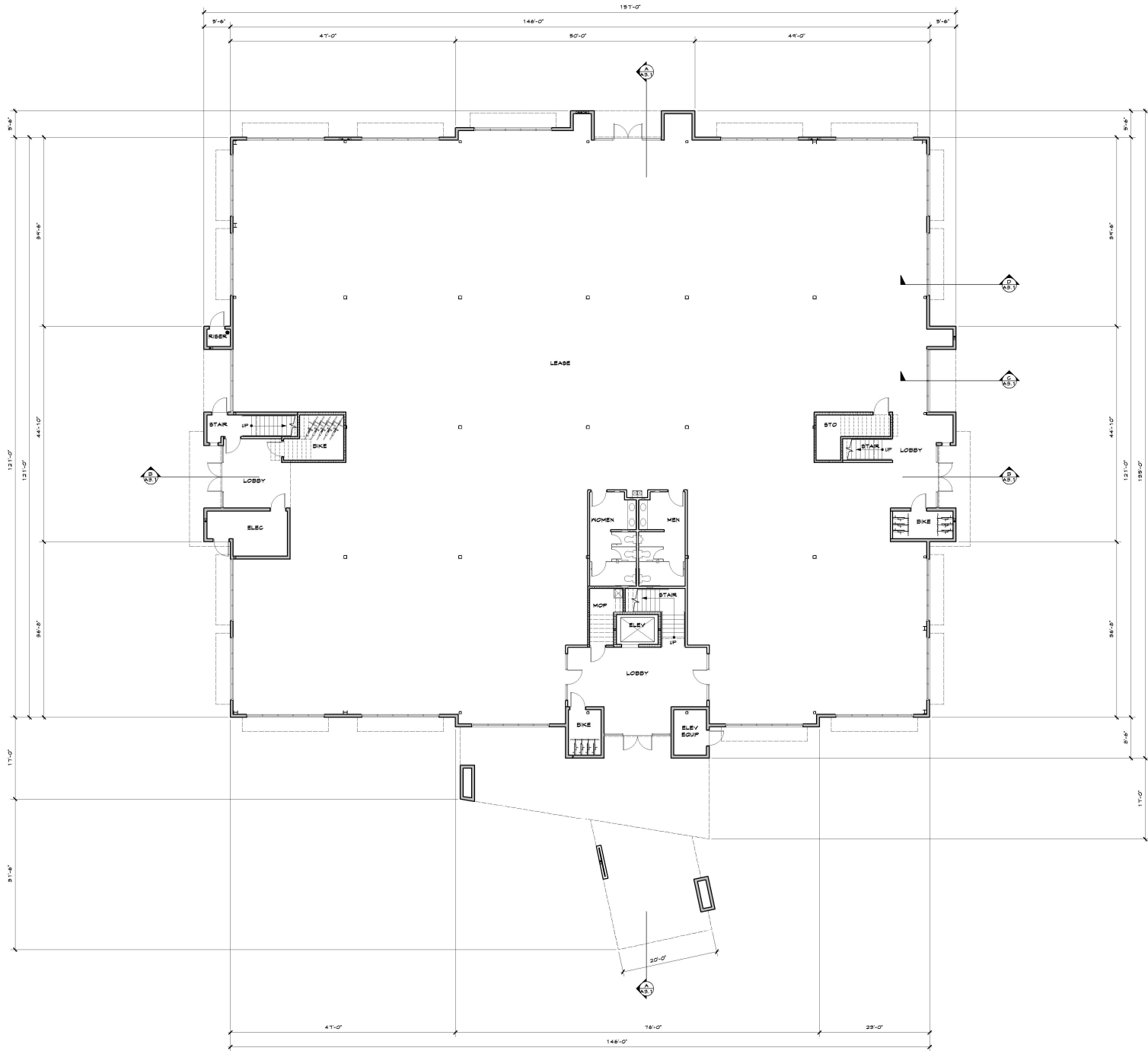
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1922

Sheet:

L-1

STEVEN P. CAMINITI
LANDSCAPE ARCHITECTURE ETCETERA
1802 ALPHEA ST. SAN LUIS OBISPO, CA. 93401
805/544-6424
EMAIL: stevepc@charter.net



FIRST FLOOR PLAN
1/8" = 1'-0"

Project:

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Sheet Contents:

FIRST FLOOR PLAN



Date: 25 JUN 14

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Job No:

1923

Sheet:

A - 1.1

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SECOND FLOOR PLAN



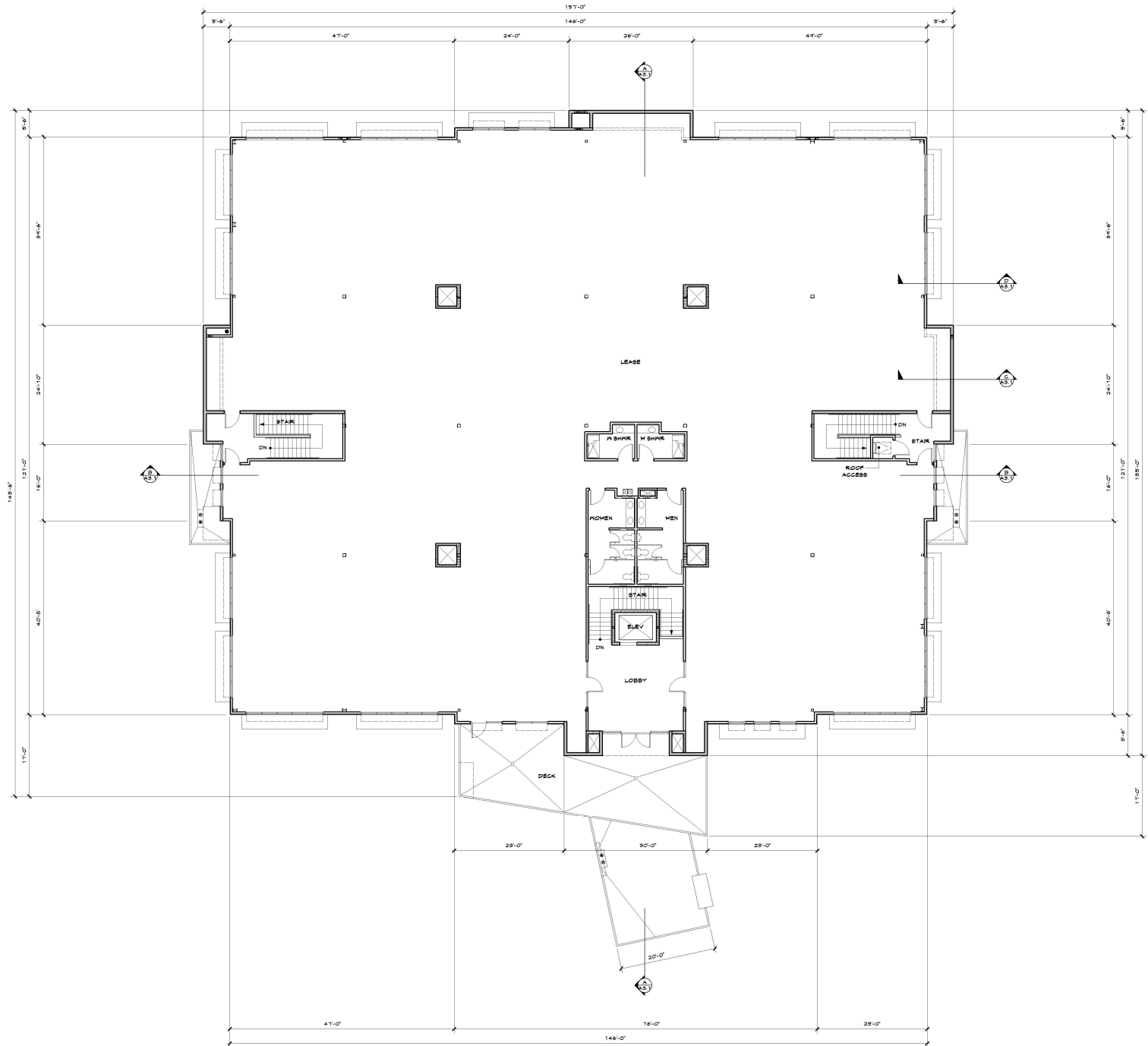
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Job No. 1923

Sheet:

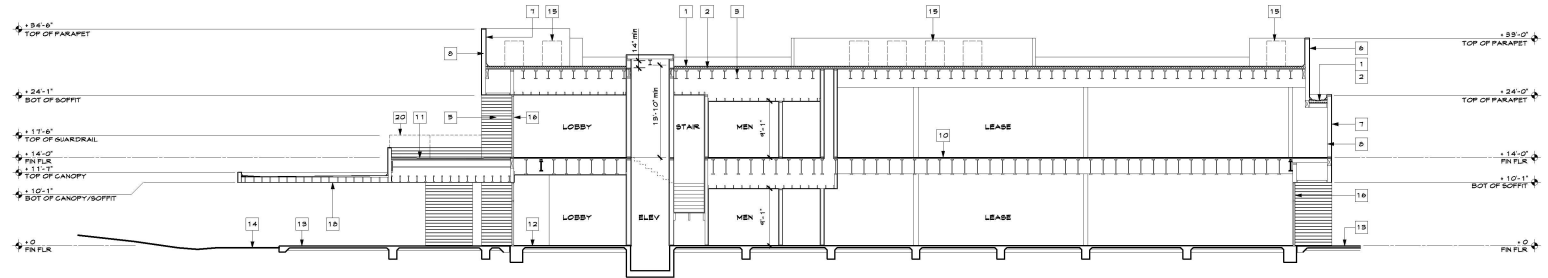
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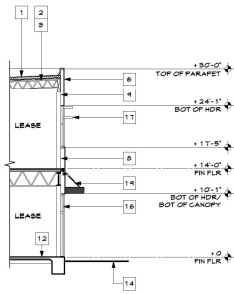
SECOND FLOOR PLAN
1/8" = 1'-0"

SECTION REFERENCE NOTES

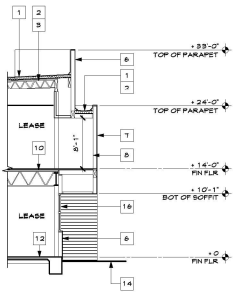
1. SINGLE PLY ROOFING
2. 4" RIGID INSULATION
3. ROOF TRUSSES ON 6" L LAM BEAM & STEEL COLUMN SUPPORTS REFER TO STRUCT DV99
4. R-14 BATT INSULATION
5. FRODO COMPOSITE SIDING
6. EXTERIOR PLASTER
7. MECHANICAL SCREEN WALLS
8. 2X6 ADDD STUD FRAMING
9. 2X6 ADDD STUD FRAMING
10. 1 1/2" GYPCORITE OVER PLYWOOD SHEATHING ON FLOOR TRUSSES WITH STEEL BEAM AND COLUMN SUPPORTS, REFER TO STRUCT DV99
11. TILE DECKING ON PLYWOOD SHEATHING OVER DECK FRAMING REFER TO STRUCT DV99
12. CONCRETE SLAB, REFER TO STRUCT DV99
13. CONCRETE FLOORING, REFER TO SITE PLAN
14. LINE OF FINISH GRADE
15. POSSIBLE FUTURE MECHANICAL UNIT
16. ALUMINUM STOREFRONT
17. ALUMINUM SUN SHADE FINB
18. CANOPY FRAMING, REFER TO STRUCT DV99
19. ALUMINUM CANOPY IV HANGER RODS, SEE DETAIL SA/A-1.9
20. 4x2 DECK SHARDRAL, REFER TO DETAIL



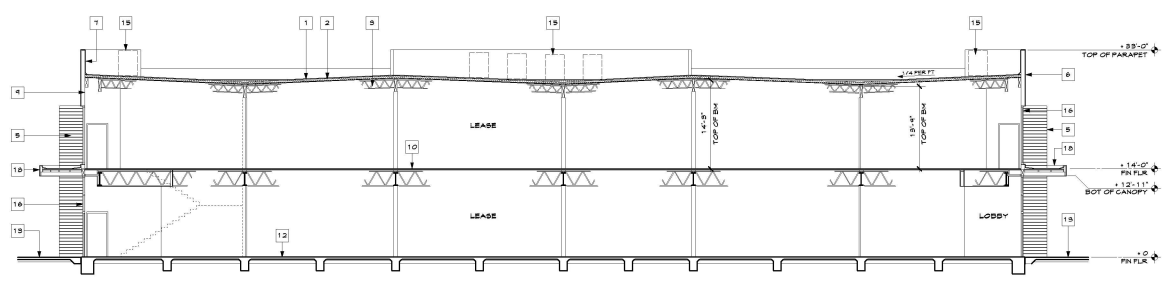
A SECTION
1/8" = 1'-0"



D SECTION
1/8" = 1'-0"



C SECTION
1/8" = 1'-0"



B SECTION
1/8" = 1'-0"

Architecture, Planning & Graphics
3592 Sacramento Dr., Suite 110
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805/541-5564 fax

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815 FIERO LANE
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Sheet Contents:

BUILDING SECTIONS



Date: **25 JUN 14**

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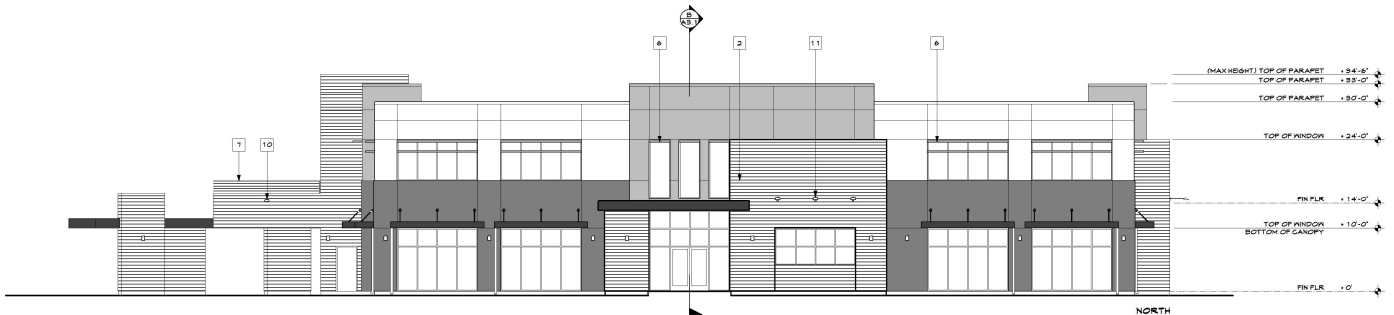
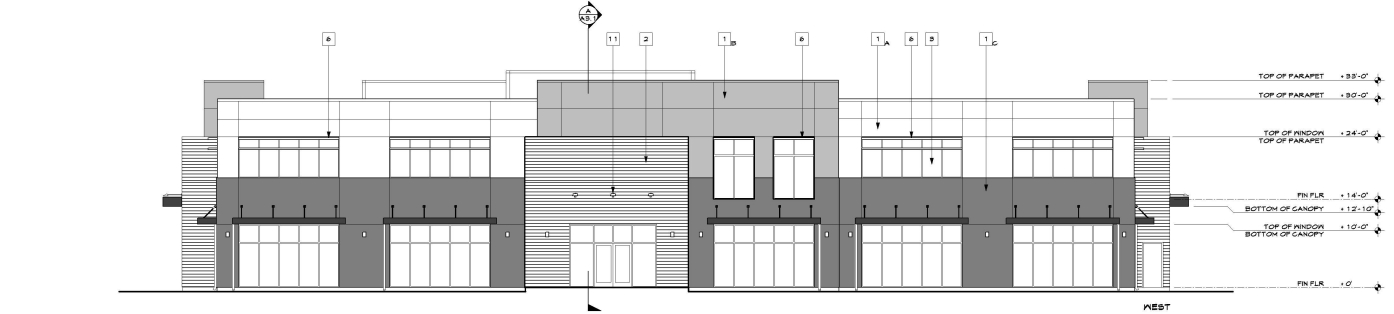
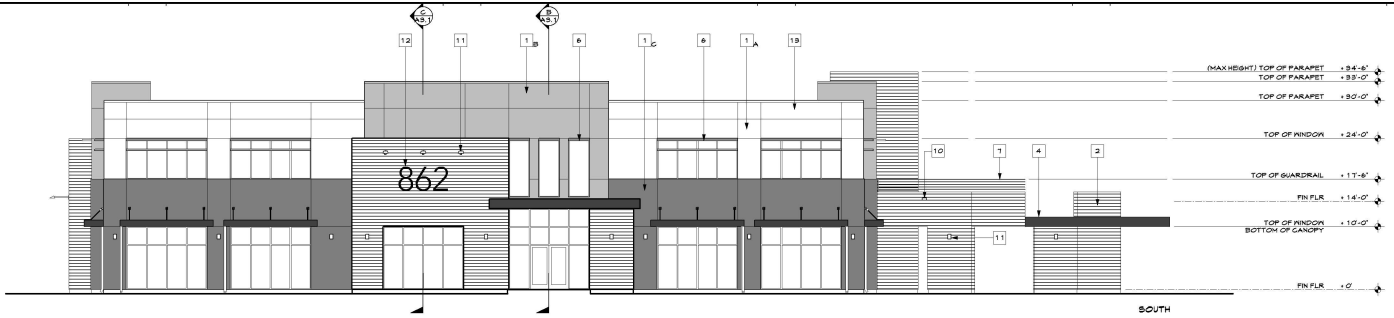
Sheet:

SYMBOL	MATERIAL	COLOR	TYPE	MANUF
[White Box]	EXTERIOR PLASTER 1 (SMOOTH FINISH)	MILKY QUARTZ	FACTORY	OMEGA
[Light Gray Box]	EXTERIOR PLASTER 2 (SMOOTH FINISH)	GREAT HALL	FACTORY	OMEGA
[Medium Gray Box]	EXTERIOR PLASTER 3 (SMOOTH FINISH)	SAUNTLET GRAY	PAINT	SHERVIN WILLIAMS (SRN 10114)
[Hatched Box]	NICHIA HOOD COMPOSITE SIDING	BLACK SPAN	PAINT	SHERVIN WILLIAMS (SRN 62714)
[Dark Gray Box]	ALUMINUM CANOPY PV HANGER RODS	BLACK	FACTORY	MASA ARCHITECTURAL CANOPIES
[Black Box]	ALUMINUM CANOPY	BLACK	POWDER COAT	--
[Light Gray Box]	ALUMINUM SUN SHADE FIN	CLEAR ANODIZED	FACTORY	--
[White Box]	ALUMINUM STOREFRONT	CLEAR ANODIZED	FACTORY	KANNEER
[White Box]	METAL DOORS & FRAMES	CHARCOAL	PAINT	--

NOTE: ALL MATERIAL, COLOR, FINISHES SHALL MATCH ADJACENT PROPERTY BUILDING. REFER TO SHEET T-1.2 FOR COLOR PHOTO EXHIBIT

ELEVATION REFERENCE NOTES

1. A EXTERIOR PLASTER 1 SMOOTH FINISH - OMEGA MILKY QUARTZ
2. B EXTERIOR PLASTER 2 SMOOTH FINISH - OMEGA GREAT HALL
3. C EXTERIOR PLASTER 3 SMOOTH FINISH - PAINT SHERVIN WILLIAMS SAUNTLET GRAY (SRN10114)
4. HOOD COMPOSITE SIDING SHERVIN WILLIAMS BLACK SPAN (SRN 62714)
5. ALUMINUM STOREFRONT AND DOOR & WINDOW FRAMES
6. ALUMINUM CANOPY - HOOD FRAMED WITH SHEET METAL FASCIA
7. ALUMINUM CANOPY PV HANGER RODS BY MASA ARCHITECTURAL CANOPIES PV 1/2" STYLE FASCIA, FLAT ROFFIT INTERLOCKING DECKING & 4" SQUARE WALL ANCHOR PLATE. MOUNT PER MFD RECOMMENDATION & PROVIDE CONTINUOUS SEALANT AS REQUIRED
8. ALUMINUM SUN SHADE FIN BY KANNEER - VERGULESS SUN SHADE - 14" SINGLE BLADE SYSTEM
9. 42" GUARDRAILS SHERVIN WILLIAMS TRIGORN BLACK (SRN 6295)
10. EXPANSION JOINT TYPICAL
11. DOWNSPOUT COLOR TO MATCH ADJACENT FINISH
12. OVERFLOW EQUIPPER PAINT TO MATCH ADJACENT FINISH
13. LIGHT FIXTURE
14. ADDRESS, ALUMINUM NUMBERS



EXTERIOR ELEVATIONS
1/8" = 1' - 0"

PULTS
Pults & Associates, LLP

Architecture, Planning & Graphics
3332 Sacramento Dr. Suite 140
San Luis Obispo, California 93401
805.543.5660

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Project:

862 AEROVISTA PLACE

SAN LUIS OBISPO CA 93401

Client:

QUAGLINO PROPERTIES

815 PENO LANE
SAN LUIS OBISPO
CA 93401
(805) 543-0560

Consultant:

Sheet Contents:

EXTERIOR ELEVATIONS



Date: **25 JUN 19**

Revised:

Job No: **1923**

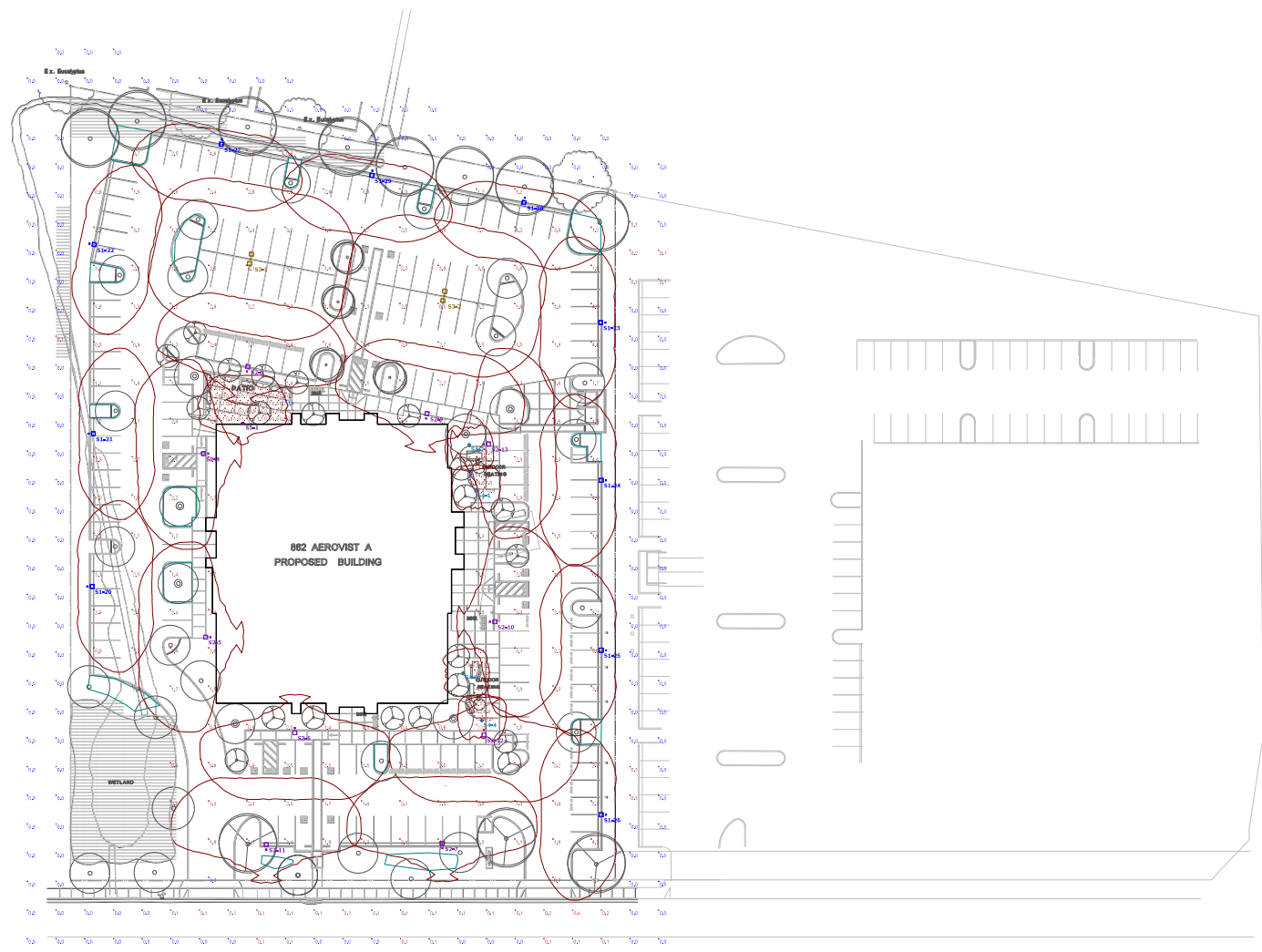
Sheet:

A - 4.1

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	S1	10	Lithonia Lighting	DSXV LED P3 40K BLC MVOLT	DSXV LED P3 40K BLC MVOLT	LED	1	6925	0,85	71
	S2	10	Lithonia Lighting	DSXV LED P3 40K T3H MVOLT	DSXV LED P3 40K T3H MVOLT	LED	1	6005	0,85	71
	S3	2	Lithonia Lighting	DSXV LED P3 40K T3H MVOLT	DSXV LED P3 40K T3H MVOLT	LED	1	6005	0,85	142
	S4	4	Lithonia Lighting	DSXB LED 12C 700 40K ASY	D-GEOMETRIC HOLLARD WITH 12 4000K LEDS OPERATED AT 700mA AND ASYMMETRIC DISTRIBUTION	LED	1	2335	0,85	31
	S5	1	Lithonia Lighting	DSXV3 LED 10C 700 30K T4H MVOLT	DSXV3 LED WITH (3) 10 LED LIGHT ENGINES, TYPE T4H OPTIC, 3000K, @ 700mA	LED	1	2515	0,85	26,2

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OUTDOOR SEATING AREA	+	6,5 Fc	12,2 Fc	3,1 Fc	3,9:1	3,1:1
OUTDOOR SEATING AREA	+	5,5 Fc	12,0 Fc	3,7 Fc	10,0:1	3,2:1
PATIO AREA	+	3,0 Fc	3,7 Fc	0,9 Fc	3,8:1	3,7:1
SITE	+	2,2 Fc	13,4 Fc	0,3 Fc	87,5:1	3,0:1
SPILL LIGHT	+	0,0 Fc	0,4 Fc	0,0 Fc	NA	NA

No.	Label	X	Y	Z	Height	Orientation	Beam
4	S2	96,73	30,08	16,00	16,00	267,53	0,00
5	S2	99,87	-99,91	16,00	16,00	270,00	0,00
6	S2	144,04	-107,43	16,00	16,00	160,00	0,00
7	S2	221,05	-170,30	16,00	16,00	339,47	0,00
8	S2	118,98	79,97	16,00	16,00	9,91	0,00
9	S2	112,83	54,46	16,00	16,00	10,74	0,00
1	S3	103,82	137,74	16,00	16,00	11,07	0,00
2	S3	211,90	118,40	16,00	16,00	11,07	0,00
11	S4	338,98	16,22	3,50	3,50	3,50	0,00
2	S4	235,17	40,57	3,50	3,50	177,47	0,00
2	S4	232,05	-78,61	3,50	3,50	87,47	0,00
4	S4	242,49	-103,56	3,50	3,50	3,50	0,00
3	S5	116,94	51,44	14,00	14,00	0,00	0,00
20	S1	35,57	-33,47	16,00	16,00	90,00	0,00
21	S1	38,20	46,38	16,00	16,00	60,00	0,00
22	S1	36,64	145,79	16,00	16,00	101,42	0,00
23	S1	306,38	104,53	16,00	16,00	370,00	0,00
24	S1	306,66	22,10	16,00	16,00	270,00	0,00
25	S1	306,66	-46,79	16,00	16,00	270,00	0,00
26	S1	306,66	-153,79	16,00	16,00	370,00	0,00
27	S1	105,94	200,20	16,00	16,00	186,08	0,00
29	S1	194,61	193,95	16,00	16,00	186,49	0,00
20	S1	356,18	169,62	16,00	16,00	186,49	0,00
10	S2	246,05	-51,92	16,00	16,00	60,00	0,00
11	S2	129,00	-173,00	16,00	16,00	0,00	0,00
12	S2	242,96	-159,61	16,00	16,00	186,00	0,00
13	S2	242,82	40,82	16,00	16,00	87,95	0,00



882 AEROVISTA
SITE LIGHTING
SAN LEANDRO, CA
062519

E - 1

Designer	
Date	6/25/2019
Scale	Not to Scale
Drawing No.	
Summary	



Specifications

Item: 10000
 Length: 1000
 Width: 1000
 Height: 1000
 Weight: 1000
 Mount: 1000

Ordering Information

EXAMPLE: 0000 LED PA 6K TM MOUNT SR NALZAD PRINZ D0000

Item	Description	Quantity	Unit
0000	0000 LED PA 6K TM MOUNT SR NALZAD PRINZ D0000	1	EA

Accessories

Item	Description	Quantity	Unit
0000	0000 LED PA 6K TM MOUNT SR NALZAD PRINZ D0000	1	EA



Specifications

Item: 10000
 Length: 1000
 Width: 1000
 Height: 1000
 Weight: 1000
 Mount: 1000

Ordering Information

EXAMPLE: 0000 LED PA 6K TM MOUNT SR NALZAD PRINZ D0000

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Accessories

Item	Description	Quantity	Unit
0000	0000 LED PA 6K TM MOUNT SR NALZAD PRINZ D0000	1	EA



Specifications

Item: 10000
 Length: 1000
 Width: 1000
 Height: 1000
 Weight: 1000
 Mount: 1000

Ordering Information

EXAMPLE: 0000 LED 100 700 30K T40 MVOLT

Item	Description	Quantity	Unit
0000	0000 LED 100 700 30K T40 MVOLT	1	EA

Accessories

Item	Description	Quantity	Unit
0000	0000 LED 100 700 30K T40 MVOLT	1	EA



Specifications

Item: 10000
 Length: 1000
 Width: 1000
 Height: 1000
 Weight: 1000
 Mount: 1000

Ordering Information

EXAMPLE: 0000 LED 300 1000 6K TM MOUNT D0000

Item	Description	Quantity	Unit
0000	0000 LED 300 1000 6K TM MOUNT D0000	1	EA

Accessories

Item	Description	Quantity	Unit
0000	0000 LED 300 1000 6K TM MOUNT D0000	1	EA



862 AEROVISTA
 SITE LIGHTING
 SAN LEANDRO, CA
 94769

E - 2

Designer
 Date
 Scale
 Not to Scale
 Drawing No.
 Summary